



**DEVELOPMENT PERMIT NO. DP001122**

**1159796 BC LTD.**

**Name of Owner(s) of Land (Permittee)**

**4745 LEDGERWOOD ROAD**

**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 1, SECTION 5, WELLINGTON DISTRICT, PLAN EPP9079  
PID No. 028-371-780**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**

**Schedule B Site Plan**

**Schedule C Building Elevations and Sections**

**Schedule D Landscape Plan**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

The "City of Nanaimo ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 6.10.2 Fence Height:*
  - a) to increase the maximum allowable height for retaining walls from 1.2m to 3.66m in the front yard setback.
  - b) to increase the maximum allowable height for retaining walls from 2.4m up to 6.06m in the side and rear yard setback areas; and
  - c) to increase the maximum allowable height for retaining walls outside the yard setback areas from 3m up to 3.83m.
2. *Section 7.6 Size of Buildings* - to increase the maximum allowable height for a principal building from 14m to 15.7m for Building 2.

The "City of Nanaimo Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

1. *Section 4.4 Location of Parking* – to allow parking spaces to extend beyond the front line of Building 1 generally as shown on the Site Plan in Schedule B.

### CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan prepared by Joyce Reid Troost Architect, received 2019-JUN-05 as shown on Schedule B.
2. The subject property is developed generally in accordance with the Building Elevations prepared by Joyce Reid Troost Architect, received 2019-JUN-05 as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Lazzarin Svisdahl Landscape Architects, received 2019-JUN-05 as shown on Schedule D.
4. The provision of a statutory right-of-way (approximately 1.5m wide) along the west property line for a future pedestrian trail connection between Boban Drive and Jordan Avenue. The right-of-way width and alignment is to be confirmed at detailed design stage.
5. The provision of a statutory right-of-way (approximately 1m wide) along the south property line for a future pedestrian trial connection extending from an existing right-of-way (VIP56739) to the southeast corner of the property.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 17th DAY OF JUNE, 2019.

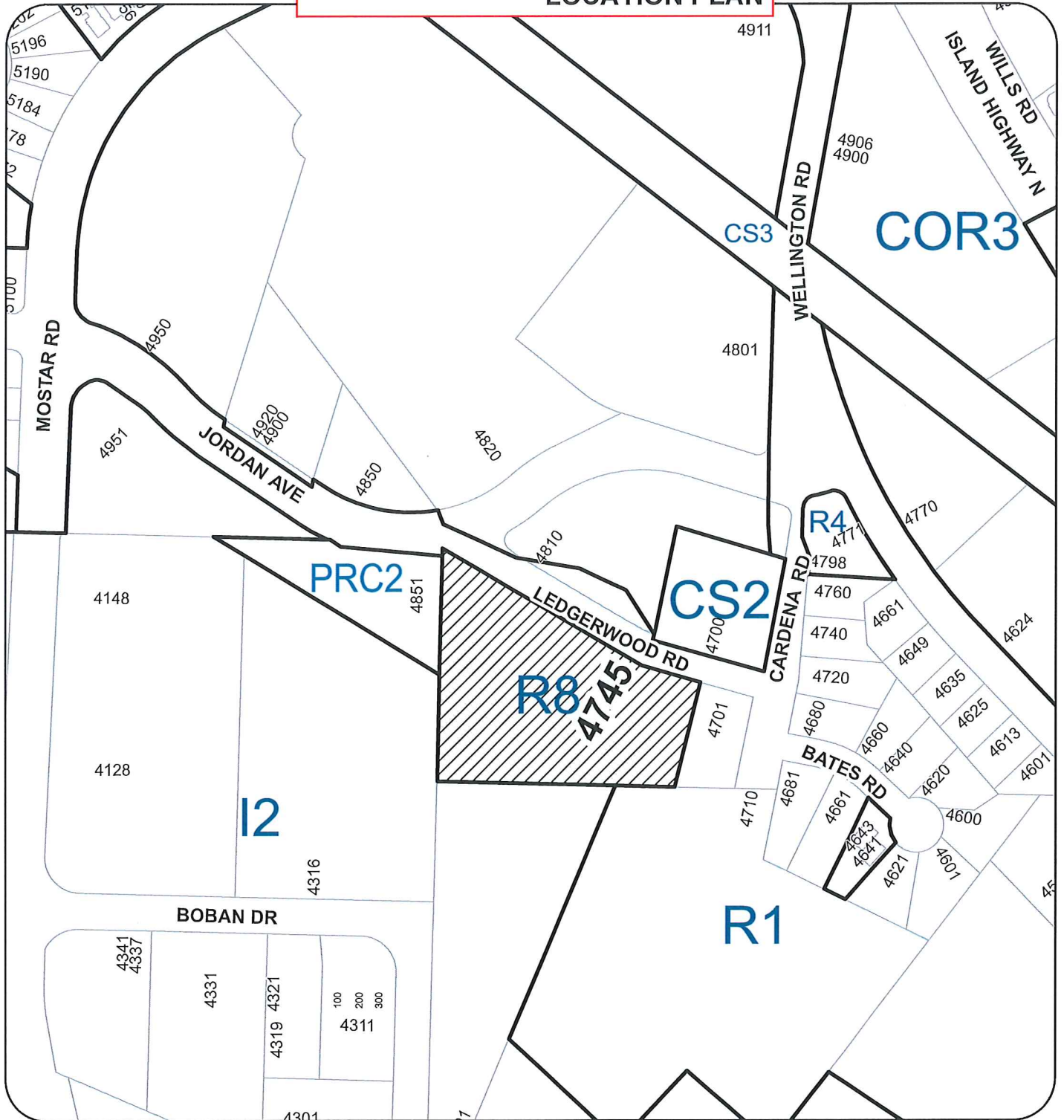
Sheila Grurie  
Corporate Officer

2019-JUN-25  
Date

CH/mw  
Prospero attachment: DP001122

Development Permit DP001122 Schedule A  
4745 Ledgerwood Road

### LOCATION PLAN



## DEVELOPMENT PERMIT NO. DP001122

### LOCATION PLAN

Civic: 4745 LEDGERWOOD ROAD  
Legal: LOT 1, SECTION 5  
WELLINGTON DISTRICT  
PLAN EPP9079

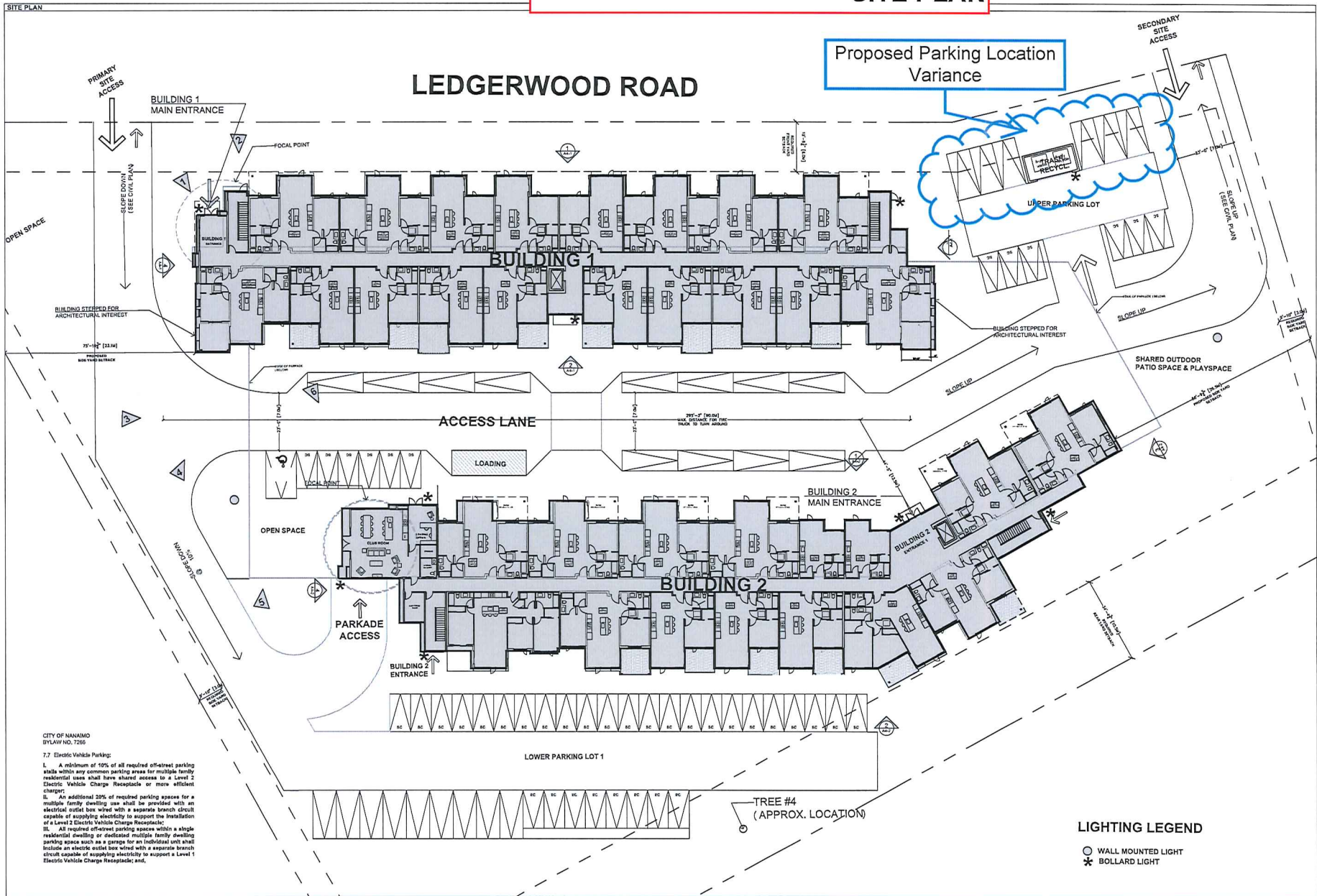


Subject Property



Development Permit DP001122 Schedule B  
4745 Ledgerwood Road

**SITE PLAN**



CITY OF NANAIMO  
BYLAW NO. 7296

7.7 Electric Vehicle Parking:  
 I. A minimum of 10% of all required off-street parking stalls within any common parking areas for multiple family residential uses shall have shared access to a Level 2 Electric Vehicle Charge Receptacle or more efficient charger.  
 II. An additional 20% of required parking spaces for a multiple family dwelling use shall be provided with an electrical outlet box wired with a separate branch circuit capable of supplying electricity to support the installation of a Level 2 Electric Vehicle Charge Receptacle.  
 III. All required off-street parking spaces within a single residential dwelling or dedicated multiple family dwelling parking space such as a garage for an individual unit shall include an electric outlet box wired with a separate branch circuit capable of supplying electricity to support a Level 1 Electric Vehicle Charge Receptacle; and,

**JRT**  
JOYCE EID TROOST ARCHITECT ABC  
2215 GLENVALE STREET, BC V9S 2S4  
250 714-1141 • JOYCE@TROOST-CLARK.COM

**WESTURBAN**  
DEVELOPMENTS INC.

PROJECT NAME:  
**MULTI-FAMILY**

ADDRESS:  
4745 LEDGERWOOD  
NANAIMO, BC

CLIENT:  
WESTURBAN DEVELOPMENT LTD.

THE DRAWING, DESIGN, SPECIFICATIONS OR CONSTRUCTION DETAILS HEREBY AND THE EXCLUSIVE PROPERTY OF JOYCE EID TROOST ARCHITECT. ALL CONSTRUCTION AND MODIFICATION SHALL BE TO BE IN ACCORDANCE WITH THE APPROVED PERMITS AND REGULATIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.

ISSUE DATE:  
2018-06-26 | DP  
2018-1-08 | DP REVISE  
2019-04-18 | DP REVISE 02

**RECEIVED**  
DP 1122  
2019-JUN-05  
CITY OF NANAIMO

DATE:  
JUNE 1, 2019

DRAWN BY:  
JOYCE TROOST

SCALE:  
1" = 10'

DRAWING TITLE:  
SITE PLAN

SHEET:  
**A0-2**

Development Permit DP001122 Schedule C  
 4745 Ledgerwood Road  
**BUILDING ELEVATIONS and SECTIONS**

BUILDING 1



NORTH ELEVATION (Side)



SOUTH ELEVATION (Side)



EAST ELEVATION (Side)



WEST ELEVATION (Side)

MATERIALS LEGEND			
	ALUMINUM FIX   CHERRY		HARDIE LAP SIDING   EXPRESSO
	METAL SIDING   BLUE		HARDIE PANEL SIDING   ARTIC WHITE
	HARDIE LAP SIDING   AGED PEWTER		WINDOWS   WHITE
			RAILINGS   BLACK

**JRT** ARCHITECTURE

Joyce Kropp Architects Inc.  
 2115 GLENHAY DRIVE, N.C. V1C 1P1  
 250.744.6244 - JOYCE@JOYCEKROPP.COM

**WESTURBAN DEVELOPMENTS**

PROJECT NAME:  
**LEDGERWOOD**

ADDRESS:  
 4745 LEDGERWOOD  
 NANAIMO, BC

CLIENT:  
 WESTURBAN DEVELOPMENT LTD.

DATE:  
 APRIL 16, 2019

DRAWN BY:  
 JOYCE KROPP

TITLE:  
 EXTERIOR ELEVATIONS

SHEET:  
**A5-2**

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 DP 1122  
 2019-JUN-05



BUILDING 2



NORTH ELEVATION



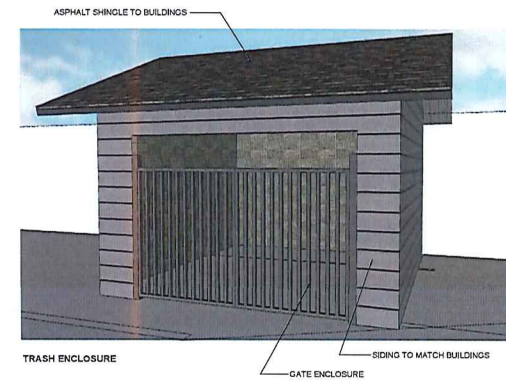
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



**JRT** ARCH

JOYCE REED PRODUCTIONS INC  
2115 DENAHE DRIVE, BC V7S 2R9  
250.463.1000 - jrt@jrtprods.com

**WESTURBAN DEVELOPMENTS**

PROJECT NAME  
**LEDGERWOOD**

ADDRESS  
4745 LEDGERWOOD  
NANAIMO, BC

CLIENT  
WESTURBAN DEVELOPMENT LTD.

SCALE DATE  
2500mm/100' 2019-06-05  
2500mm/100' 2019-06-05

DATE  
APRIL 16, 2019

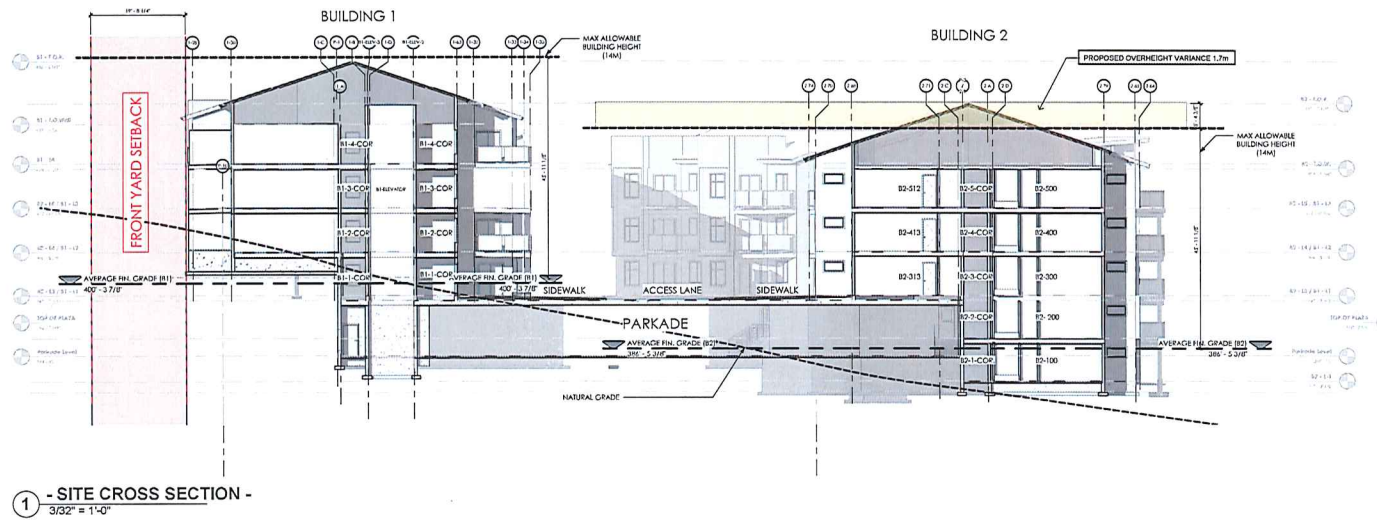
DRAWN BY  
JOYCE TROST

SCALE  
AS SHOWN

DRAWING TITLE  
**BUILDING 2  
EXTERIOR ELEVATIONS**

SCALE  
**A5-3**

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DP 1122  
2019-JUN-05  
CITY OF NANAIMO



RECEIVED  
 DP 1122  
 2019-MAY-01  
 GASTOWN ARCHITECTURE

**JOYCE REID TROOST ARCHITECTURE**  
 2516 GLENHAYR DRIVE  
 NANAIMO, BC V9S 3R9  
 joyce@jrtarchitecture.com  
 250.714.8749  
 jrtarchitecture.com

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ARCH. STAMP

**LEDGERWOOD**  
 4745 LEDGERWOOD ROAD  
 NANAIMO, BC V9T 6E8

CLIENT  
 WESTURBAN  
 DEVELOPMENTS, LTD.

2019-04-15	DP RESUBMIT 02

DATE	APRIL 15, 2019
SCALE	3/32" = 1'-0"
DRAWN BY	JRT

SITE SECTION  
**A6-1**



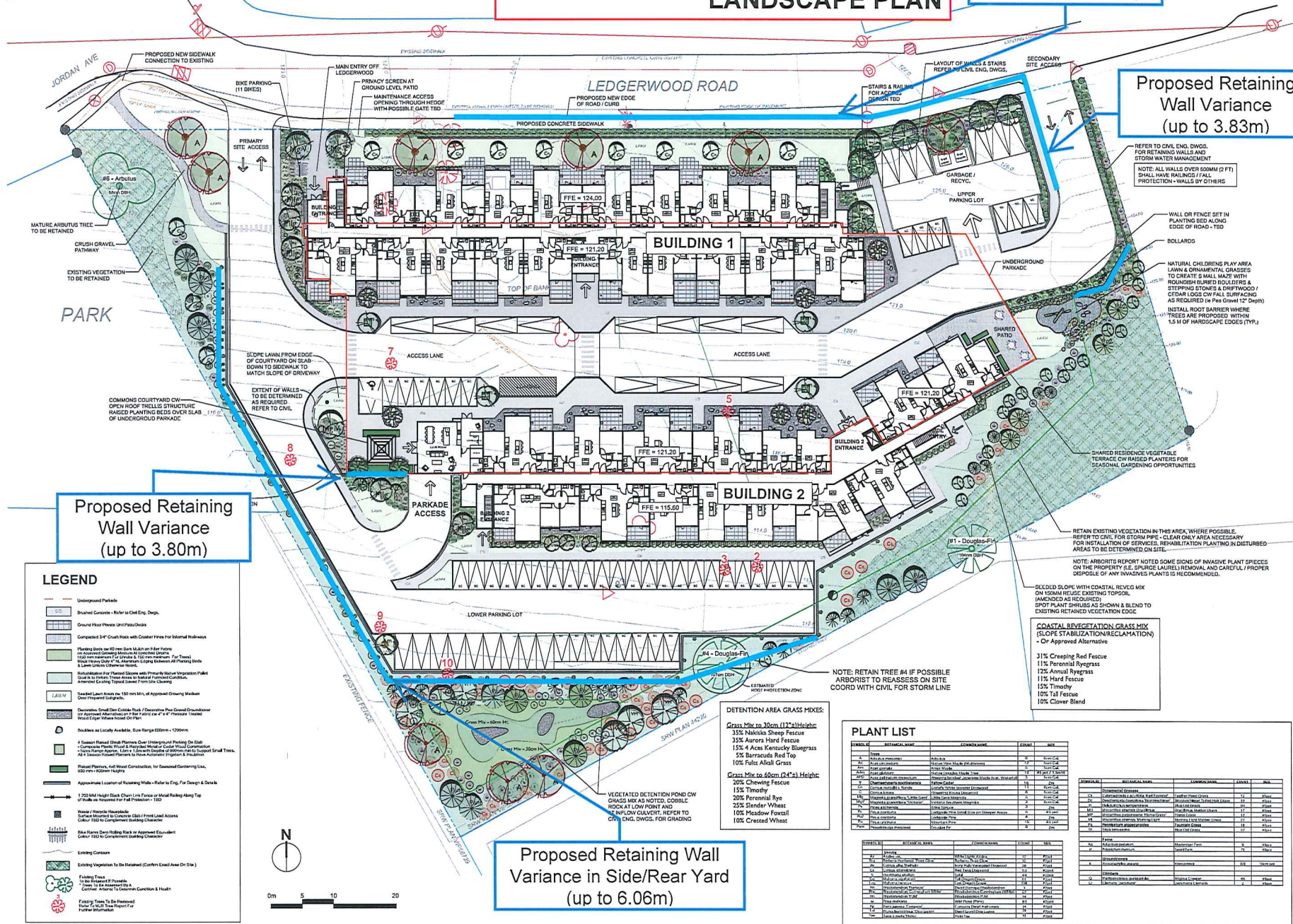
Development Permit DP001122 Schedule D  
4745 Ledgerwood Road  
**LANDSCAPE PLAN**

Proposed Retaining Wall Variance in Front Yard (up to 3.66m)

Proposed Retaining Wall Variance (up to 3.83m)

Proposed Retaining Wall Variance (up to 3.80m)

Proposed Retaining Wall Variance in Side/Rear Yard (up to 6.06m)



**LEGEND**

- Underground Parking
- Brushed Concrete - Refer to Civil Eng. Dept.
- Ground Floor Paved Pavement
- Compacted 3" Crush Rock with Gravel Fines for Internal Walkways
- Planting Beds (see EIR for details) on 8" or 10" deep 100mm aggregate base with 100mm concrete top layer. For trees, use 150mm concrete top layer. For shrubs, use 100mm concrete top layer.
- Rehabilitation for Paved Slopes with Permeable Surface Vegetation Plant and Soil Layers. These areas to be installed by contractor. Amend existing topsoil from site clearing.
- Standard Lawn Areas per 100 mm Min. of Approved Gravel Medium Layer (Refer to EIR)
- Decorative Small Stone Cracks / Decorative Pavement Gravel Gravel for Approved Materials on 100 mm Min. of 4" or 4" Holes. These are to be installed by contractor.
- Stakes as Locally Available. Size Range 500mm - 1000mm
- 4 Season Retard Drain Panels Over Underground Parking On Slope Conditions. Refer to EIR for details. 150mm Depth of Subsoil to Support Small Trees. All 4 Season Retard Drain Panels to be installed by contractor.
- Gravel Panels. All Wood Connections for Seasonal Clearing. 500 mm - 800mm High
- Approximate Location of Retaining Walls - Refer to Eng. for Design & Details
- 1:200 High Black Chain Link Fence or Metal Railing Along Top of Walls as Noted on Plan (1:200)
- Water or Rainfall Resistant Surface Material to Current Slope (Refer to EIR)
- Bike Ramps. Refer to EIR for Details. Refer to EIR for Details.
- Existing Contours
- Existing Vegetation to be Retained (Confirm Exact Area On Site)
- Existing Trees
- Planting Trees to be Retained (Refer to EIR for Details)
- Planting Trees to be Retained (Refer to EIR for Details)

**PLANT LIST**

SYMBOL	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPACING
A	Abies balsamea	Blue Spruce	12'	10m
B	Thuja occidentalis	Green Cedar	12'	10m
C	Juniperus horizontalis	Creeping Juniper	1.5'	10m
D	Thuja occidentalis	Green Cedar	12'	10m
E	Thuja occidentalis	Green Cedar	12'	10m
F	Thuja occidentalis	Green Cedar	12'	10m
G	Thuja occidentalis	Green Cedar	12'	10m
H	Thuja occidentalis	Green Cedar	12'	10m
I	Thuja occidentalis	Green Cedar	12'	10m
J	Thuja occidentalis	Green Cedar	12'	10m
K	Thuja occidentalis	Green Cedar	12'	10m
L	Thuja occidentalis	Green Cedar	12'	10m
M	Thuja occidentalis	Green Cedar	12'	10m
N	Thuja occidentalis	Green Cedar	12'	10m
O	Thuja occidentalis	Green Cedar	12'	10m
P	Thuja occidentalis	Green Cedar	12'	10m
Q	Thuja occidentalis	Green Cedar	12'	10m
R	Thuja occidentalis	Green Cedar	12'	10m
S	Thuja occidentalis	Green Cedar	12'	10m
T	Thuja occidentalis	Green Cedar	12'	10m
U	Thuja occidentalis	Green Cedar	12'	10m
V	Thuja occidentalis	Green Cedar	12'	10m
W	Thuja occidentalis	Green Cedar	12'	10m
X	Thuja occidentalis	Green Cedar	12'	10m
Y	Thuja occidentalis	Green Cedar	12'	10m
Z	Thuja occidentalis	Green Cedar	12'	10m

Date	Revisions	By
August 27 2018	ISSUE FOR REVIEW	LS
October 4 2018	ISSUE FOR REVIEW	LS
October 4 2018	ISSUE FOR DEVELOPMENT PERMIT	LS
April 12 2019	REVISED PLAN & LANDSCAPE	LS
April 15 2019	REVISED DRAFT FOR REVIEW	LS
April 30 2019	REVISED PLAN & LANDSCAPE	LS
May 23 2019	REVISED DRAFT FOR REVIEW	LS
JUNE 3 2019	REVISED PLANING & ARCHITECTURE	LS

**LAZZARIN SVISDAHL**  
LANDSCAPE ARCHITECTS

203-1200 1st Avenue, Prince George BC, V2L 2Y3  
250-563-6158  
www.la-land.com

Project  
4745 Ledgerwood Road  
Nanaimo, BC

Sheet Title  
Conceptual Landscape Plan

Date August 15, 2018

Scale 1:250

Drawn By LS

Project No.

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Drawing No. **L1**

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DP 1122  
2019 JUN-05  
CITY OF NANAIMO

Blue line = Proposed Retaining Walls Requiring Variances (approx. locations)